

LAND USE PERMIT

Case No.: 06LUP-00000-00611 **Planner:** Sarah Clark
Project Name: Swanson Tieback Grade Beam System
Project Address: 5597 W. Camino Cielo
A.P.N.: 153-100-018
Zone District: RR-5

Initials *SL*



Planning & Development (P&D) grants final approval and intends to issue this Land Use Permit for the development described below, based upon the required findings and subject to the attached terms and conditions.

FINAL APPROVAL DATE: October 5, 2007

APPEAL PERIOD BEGINS: October 6, 2007

APPEAL PERIOD ENDS: October 15, 2007

DATE OF PERMIT ISSUANCE: (if no appeal filed)

NOTE: This final approval may be appealed to the Commission/Montecito Commission by the applicant, owner, or any interested person adversely affected by such decision. The appeal must be filed in writing and submitted with the appropriate appeal fees to P&D at 123 East Anapamu Street, Santa Barbara, CA 93101 or 624 W. Foster Road, Santa Maria, CA, 93455, within (10) calendar days following the **Final Approval Date** identified above. (Secs. 35.102 & 35.492) If you have questions regarding this project please contact the planner Sarah Clark at (805) 568-2059.

PROJECT DESCRIPTION SUMMARY:

PROJECT SPECIFIC CONDITIONS:

ASSOCIATED CASE NUMBERS:

TERMS OF PERMIT ISSUANCE:

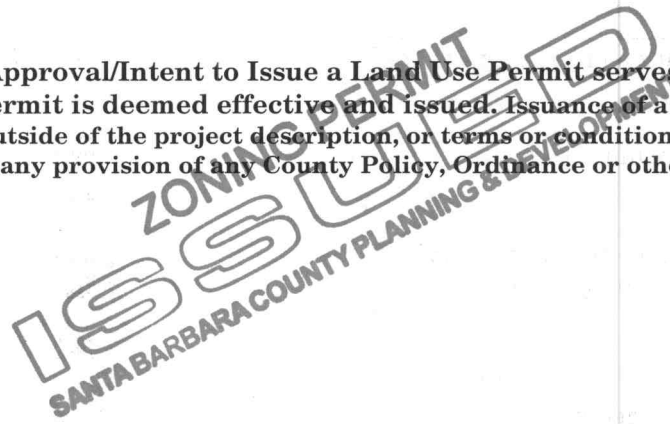
- 1. Mailing and Posting Notice.** Mailed notice of the subject Land Use Permit application shall be provided to neighboring property owners as required by ordinance. The applicant shall provide proof of mailing and posting of the required notice by filing an affidavit of noticing with the Planning and Development Department no later than 10 days following an action by the Director to approve the permit. A weather-proofed copy of the notice shall be posted by the Applicant in one conspicuous place along the perimeter of the subject property. The notice shall remain posted continuously until at least 10 calendar days following approval of the permit. (Sections 35.106.030 & 35.496.030)
- 2. Work Prohibited Prior to Permit Issuance.** No work, development, or use intended to be authorized pursuant to this approval shall commence prior to issuance of this Land Use Permit and/or any other required permit (e.g., building permit). **WARNING! THIS IS NOT A BUILDING/GRADING PERMIT.**

3. Date of Permit Issuance. This Permit shall be deemed effective and issued on the **Date of Permit Issuance** as identified above, provided:

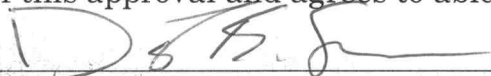
- a. All terms and conditions including the requirement to post notice must be met and this Notice/Permit has been signed,
- b. The **Affidavit of Posting Notice** was returned to P&D prior to the expiration of the Appeals Period. Failure to submit the affidavit by such date shall render the approval null and void, and
- c. No appeal has been filed.

4. Time Limit. Failure to obtain a required construction/demolition or grading permit and to lawfully commence development within two years of permit issuance, shall render this Land Use Permit null and void. A Land Use Permit that follows an approved Final Development Plan (FDP) shall be rendered null and void on the date the FDP expires even if the FDP expiration date is within two years of the Land Use Permit issuance, unless substantial physical construction has been completed.

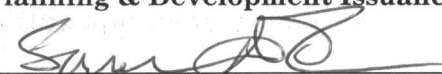
NOTE: This Notice of Final Approval/Intent to Issue a Land Use Permit serves as the Approval and the Land Use Permit once the permit is deemed effective and issued. Issuance of a permit for this project does not allow construction or use outside of the project description, or terms or conditions; nor shall it be construed to be an approval of a violation of any provision of any County Policy, Ordinance or other governmental regulation.



OWNER/APPLICANT ACKNOWLEDGMENT: Undersigned permittee acknowledges receipt of this approval and agrees to abide by all terms and conditions thereof.

		11/05/02
Print Name	Signature	Date

Planning & Development Issuance by:

	10/26/02
Planner	Date

ATTACHMENT A CONDITIONS OF APPROVAL

1. This LUP is based upon and limited to compliance with the project description and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the County for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows:

Land Use Permit for construction of a 100 foot long tieback and grade beam system, previously authorized by 06EMP-00000-00003, to stabilize a failed slope below an existing single-family dwelling. Grading includes 200 cubic yards of cut and 200 cubic yards of fill. No tree removal is proposed. The parcel will continue to be served by private water and septic systems and the County Fire District. Access will continue to be provided from West Camino Cielo. The property is a 3.18 acre parcel zoned RR-5 and shown as Assessor's Parcel Number 153-100-018, located at 5597 West Camino Cielo in Los Padres National Forest, 2nd Supervisorial District.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the approved plans and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved plans and conditions of approval hereto. All plans (such as Landscape and Tree Protection Plans) must be submitted for review and approval and shall be implemented as approved by the County.

2. Prior to issuance of the Land Use Permit, the project shall receive final approval from the South County Board of Architectural Review (SBAR). The project shall be in strict conformance with the plans reviewed and approved by the SBAR under 06BAR-00000-00158. Any structural or color revisions to final SBAR-approved plans shall be submitted for review and approval by the Development Review Division and/or SBAR.
3. Project landscaping shall conform to the landscape plan approved by the BAR as part of 06BAR-00000-00158. Landscaping shall consist of drought-tolerant native and/or Mediterranean type species which adequately screen the project site from surrounding land uses. Landscaping shall be compatible with the character of the surroundings and the architectural style of the structure. **Plan Requirements/Timing:** The applicant shall also submit copies of a final landscape and water-conserving irrigation plan to P&D for review and approval. Landscape and irrigation shall be installed immediately following construction of the retaining wall. **Monitoring:** Permit Compliance staff shall photo document installation of landscape per plan.

4. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 4:00 p.m., Monday through Friday. No construction shall occur on State holidays (e.g., Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** One sign stating these restrictions shall be provided by the applicant and posted on site. **Timing:** Signs shall be in place prior to beginning of and throughout grading and construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspectors and Permit Compliance shall spot check and respond to complaints.
5. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging, or rebuilding of any building, structure, or improvement, the applicant shall obtain a Land Use and Building Permit from Planning and Development. These Permits are required by ordinance and are necessary to ensure implementation of the conditions required by the Planning Commission. Before any Permit will be issued by Planning and Development, the applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the applicant has satisfied all pre-construction conditions. A form for such clearance is available from Planning and Development.
6. Structures shall be designed to earthquake standards of the Uniform Building Code Seismic Zone 4. **Plan Requirements and Timing:** Prior to plan check, the applicant shall submit building plans indicating standards to the satisfaction of Building and Safety Division. **Monitoring:** Building inspectors shall site inspect prior to occupancy clearance.
7. All trees located near the proposed work shall be protected from stucco, paint, and other potentially damaging materials during construction activities.
8. Any unanticipated damage to trees or sensitive habitats from construction activities shall be mitigated in a manner approved by P&D. This mitigation shall include but is not limited to posting of a performance security, tree replacement as approved by P&D, and hiring of an outside consulting biologist or arborist to assess damage and recommend mitigation. The required mitigation shall be done under the direction of P&D prior to any further work occurring on site. Any performance securities required for installation and maintenance of replacement trees will be released by P&D after its inspection and approval of such installation and maintenance.
9. Dust generated by the development activities shall be retained onsite and kept to a minimum by following the dust control measures listed below. Reclaimed water shall be used whenever possible.
 - a. During clearing, grading, earth moving or excavation, water trucks or sprinkler systems are to be used in sufficient quantities, after each day's activities cease, to prevent dust from leaving the site and to create a crust.
 - b. During construction, water trucks or sprinkler systems are to be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum this will include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency will be required whenever the wind speed exceeds 15 mph.

- c. Soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation.

Plan Requirements: All requirements shall be shown on grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction periods. **Monitoring:** P&D shall ensure measures are on plans. P&D Grading and Building inspectors shall spot check; Grading and Building shall ensure compliance on-site. APCD inspectors shall respond to nuisance complaints.

10. **Mitigation Monitoring required:** The applicant shall ensure that the project complies with all approved plans and all project conditions including those which must be monitored after the project is built. To accomplish this the applicant agrees to:
 - a. Contact P&D compliance staff as soon as possible after project approval to provide the name and phone number of the future contact person for the project and give estimated dates for future project activities.
 - b. Contact P&D compliance staff at least two weeks prior to commencement of construction activities to schedule an on-site pre-construction meeting with the owner, compliance staff, other agency personnel and with key construction personnel.
 - c. Pay fees prior to approval of Land Use Permits/Coastal Development permits as authorized under ordinance and fee schedules to cover full costs of monitoring as described above, including costs for P&D to hire and manage outside consultants when deemed necessary by B&D staff (e.g. non-compliance situations, special monitoring needed for sensitive areas including but not limited to biologists, archaeologists) to assess damage and/or ensure compliance. In such cases, the applicant shall comply with P&D recommendation to bring the project into compliance. The decision of the Director of P&D shall be final in the event of a dispute.
11. Prior to approval of Land Use Permit, the applicant shall notify in writing all property owners and occupants of parcels within 300 feet of the project site of its approval and conditions. Proof of mailing the notices shall be provided to Planning and Development.
12. This LUP shall expire two years from the date of issuance or, if appealed, the date of action by the Board of Supervisors on the appeal, if the permit for use, building or structure permit has not been issued.
13. The use and/or construction of the building or structure, authorized by this approval cannot commence until the Land Use Permit has been issued. Prior to the issuance of the Land Use Permit, all of the project conditions that are required to be satisfied prior to issuance of the Land Use Permit must be satisfied. Plans accompanying this Land Use Permit shall contain all project conditions.
14. Any change of use in the proposed building or structure shall be subject to environmental analysis and appropriate review by the County including building code compliance.
15. Developer shall defend, indemnify and hold harmless the County or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees, to attack,

set aside, void, or annul, in whole or in part, the County's approval of the Land Use Permit. In the event that the County fails promptly to notify the applicant of any such claim, action or proceeding, or that the County fails to cooperate fully in the defense of said claim, this condition shall thereafter be of no further force or effect.

16. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided for by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the County and substitute conditions may be imposed.
17. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts.

Staff: Remember to include permit compliance conditions and collect permit compliance fee, if applicable.

SWANSON



BASIC NATIVE EROSION CONTROL MIX

This mix of annual native California species has been formulated for rapid growth in the lower rainfall climates and varied soil types of Central and Southern California. For this reason, it is the best choice for permanent or temporary cover in areas that may not support perennial natives without the addition of irrigation or soil amendments. These seeds are adapted to our climates and plant communities and can be used around sensitive native habitat and in conjunction with other species, including wildflowers, without the fear of native gene contamination.

<u>SPECIES</u>	<u>COMMON NAME</u>	<u>BULK #'s/ACRE</u>	<u>MIN % PLS*</u>
<i>Bromus carinatus</i> "Cucamonga"	Cucamonga Brome	20.00	85
<i>Trifolium tridentatum</i>	Tomcat Clover	4.00	85
<i>Vulpia microstachys</i>	Small Fescue	<u>8.00</u>	85
		32.00	

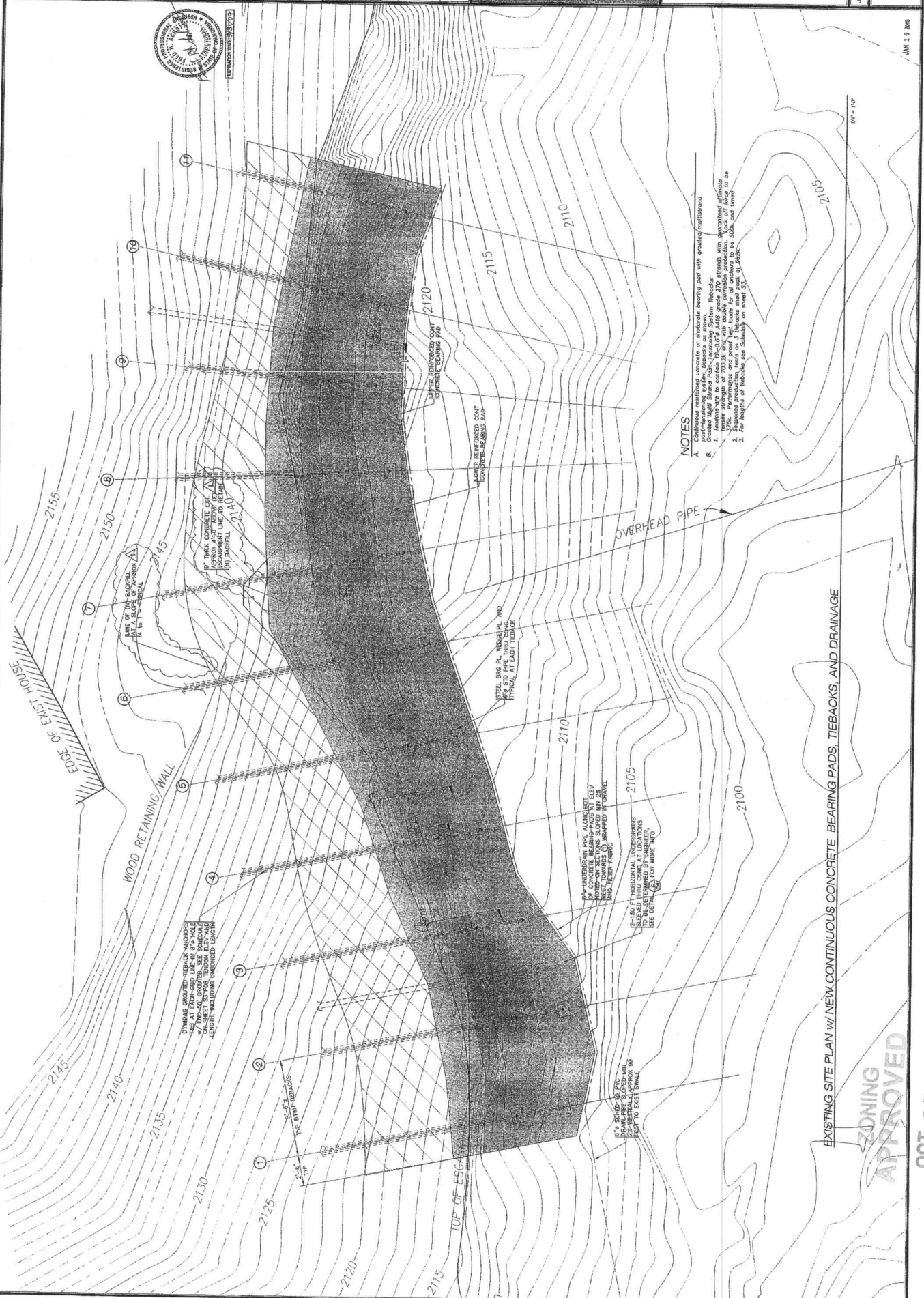
* MIN % PLS (Pure Live Seed) = Seed Purity x Germination Rate

- Seed: 32 lbs per acre
- Height: 30-36 inches
- Emergence: 10-15 days
- Establishment: 45 days to 90% cover after emergence

For additional plant characteristics visit the plant database portion of our website at www.ssseeds.com.

ZONING
APPROVED
OCT 05 2007
PLANNER: *[Signature]*
S.B. PLANNING & DEVELOPMENT

RECEIVED
AUG 23 2007
S.B. COUNTY
PLANNING & DEVELOPMENT



NOTES
 A. Continuous reinforced concrete or alternate bearing wall with grouted/multistrand
 1. Reinforce to contain tie-backs, A18 grade 270 strand, with appropriate alternate
 2. 270. Performance and proof test same for all anchors to be 500k and tested
 3. For heights of tiebacks see Schedule on sheet 15 of 7.

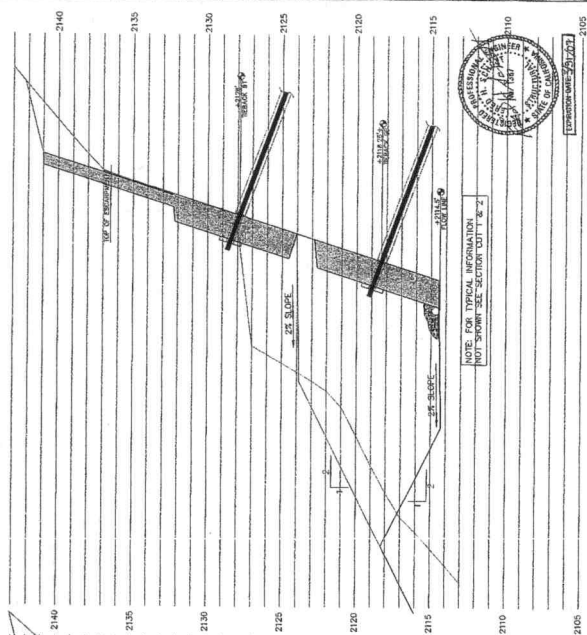
EXISTING SITE PLAN W/ NEW CONTINUOUS CONCRETE BEARING PADS, TIEBACKS, AND DRAINAGE

ZONING APPROVED

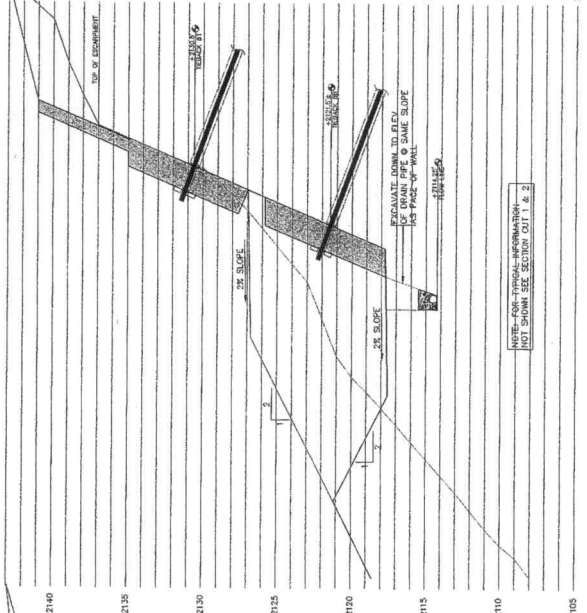
OCT 05 2007

PLANNER: [Signature]
 S.B. PLANNING & DEVELOPMENT

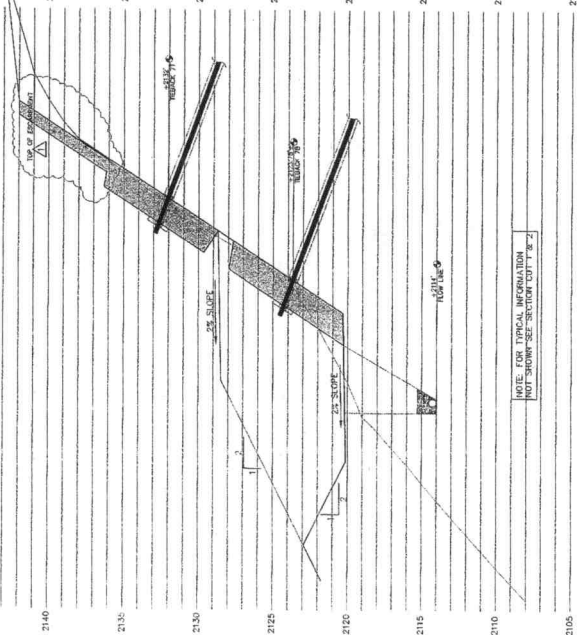




SECTION CUT 7



SECTION CUT 8



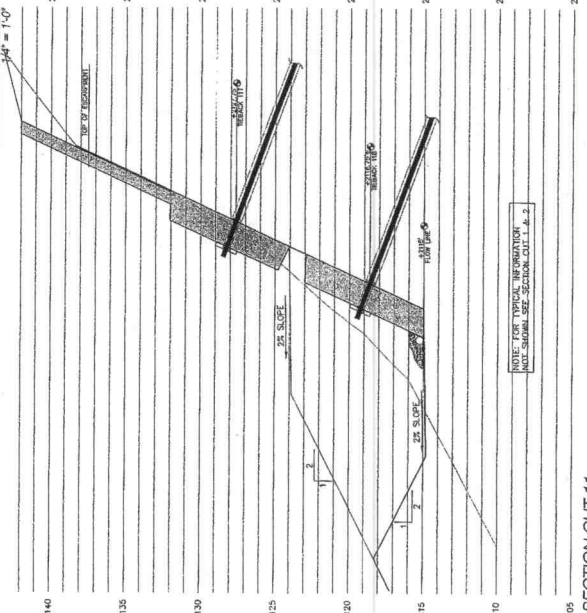
SECTION CUT 9

1/4" = 1'-0"

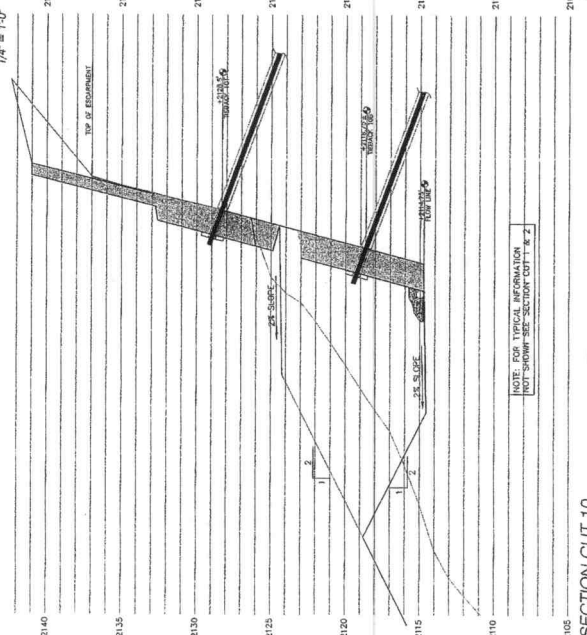
Location	Elevation (FT)	Unbonded Length (FT)	Bonded Length (FT)	Total Length (FT)
Section 1:				
1A	2103.5	70	50	120
1B	2098	52	50	102
Section 2:				
2A	2110	76	50	126
2B	2101.5	58	50	108
Section 3:				
3A	2132.5	79.5	50	129.5
3B	2104.5	61	50	111
Section 4:				
4A	2117.5	63.5	50	113.5
4B	2108.5	55	50	105
Section 5:				
5A	2125	93	50	143
5B	2116	75	50	125
Section 6:				
6A	2128	83	50	133
6B	2117	75	50	125
Section 7:				
7A	2132	98	50	148
7B	2123.75	81.5	50	131.6
Section 8:				
8A	2130.5	95	50	145
8B	2121.5	77	50	127
Section 9:				
9A	2128	91	50	141
9B	2118.25	71.5	50	121.5
Section 10:				
10A	2128.5	92	50	142
10B	2118.75	72.5	50	122.5
Section 11:				
11A	2137.5	92.5	50	142.5
11B	2113.75	74.5	50	124.5

Tieback Schedule For Swanson Slide Stabilization:

TIEBACK SCHEDULE

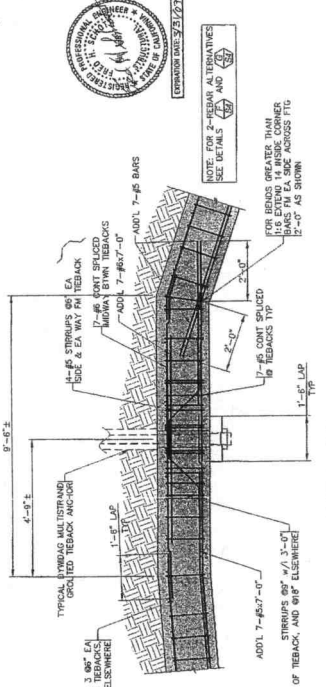


SECTION CUT 10

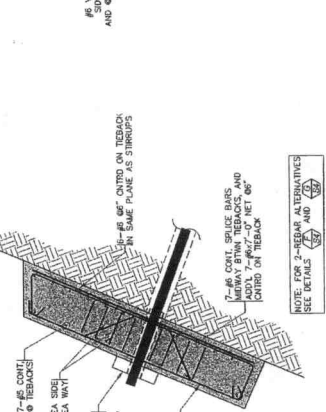


SECTION CUT 11

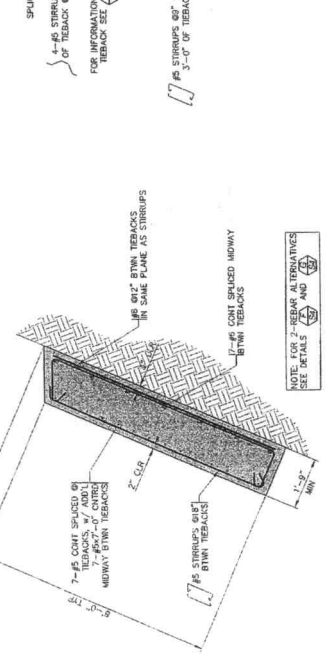
ZONING APPROVED
 OCT 05 2007
 PLANNER: *Sawyer*
 S.B. PLANNING & DEVELOPMENT



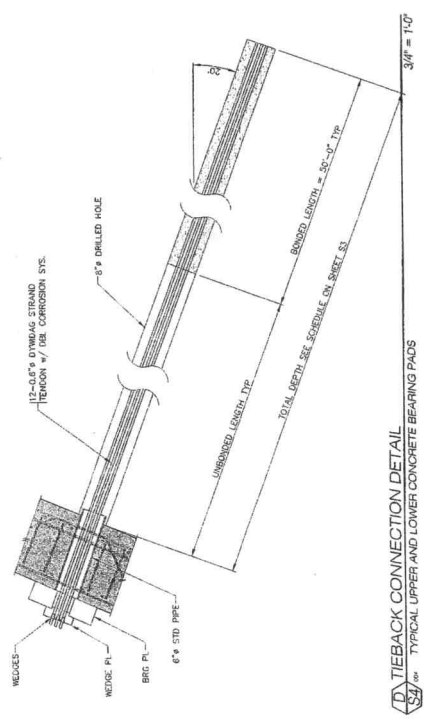
A REINFORCING DETAIL AT TIEBACKS
 TYPICAL UPPER AND LOWER CONCRETE BEARING PADS
 1/2" = 1'-0"



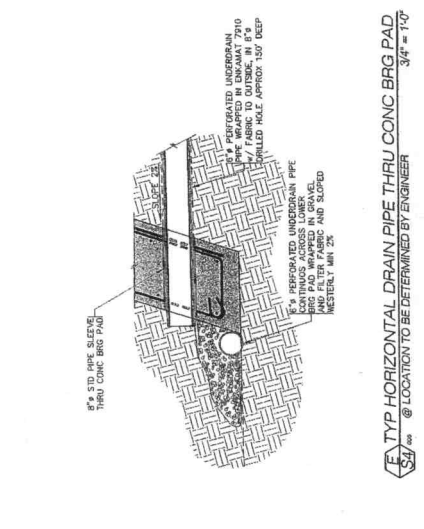
B REINFORCING DETAIL AT TIEBACKS
 TYPICAL UPPER AND LOWER CONCRETE BEARING PADS
 1/2" = 1'-0"



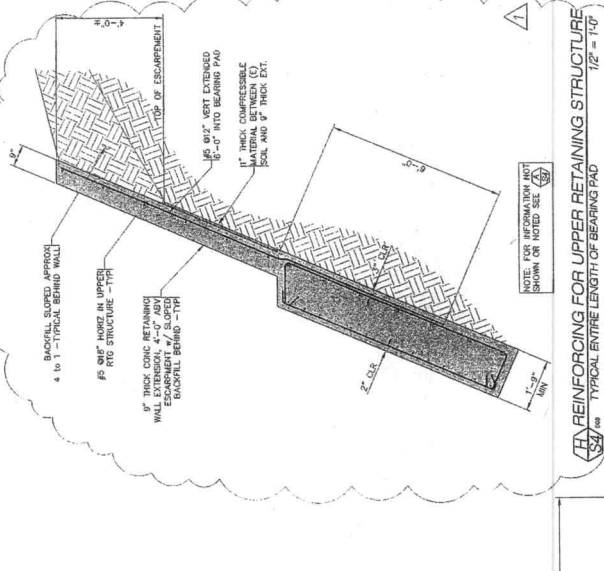
C REINFORCING DETAIL BETWEEN TIEBACKS
 TYPICAL UPPER AND LOWER CONCRETE BEARING PADS
 1/2" = 1'-0"



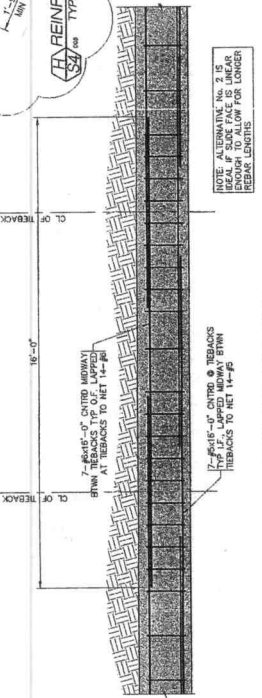
D TIEBACK CONNECTION DETAIL
 TYPICAL UPPER AND LOWER CONCRETE BEARING PADS
 3/4" = 1'-0"



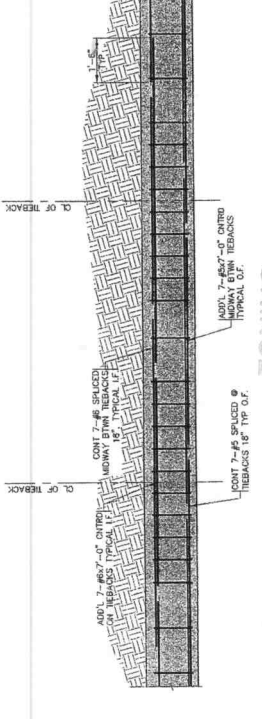
E TYP. HORIZONTAL DRAIN PIPE THRU CONC BRG PAD
 3/4" = 1'-0"



F REINFORCING FOR UPPER RETAINING STRUCTURE
 1/2" = 1'-0"



G ALTERNATIVE NO. 2 REINFORCING PLACEMENT
 TYPICAL UPPER AND LOWER CONCRETE BEARING PADS
 1/2" = 1'-0"



H ALTERNATIVE NO. 1 REINFORCING PLACEMENT AS SHOWN IN DETAILS
 TYPICAL UPPER AND LOWER CONCRETE BEARING PADS
 1/2" = 1'-0"

OCT 05 2007

PLANNER: *[Signature]*
 S.B. PLANNING & DEVELOPMENT

APPROVED

JAN 10 2008

DIVIDING MULTI-STRAND POST-TENSIONING SYSTEM NOTES - CONT'D

2. A smooth sheathing film study over the completed sheathing in the stressing length shall guarantee unobstructed elongation during stressing. The Multi-Strand Post-Tensioning tendon shall be centered in the completed sheathing. The space between the tendon and the sheathing shall be filled with cement grout.
3. The plastic sheathing shall form a gas and watertight barrier around the tendon and shall be polyethylene, having a minimum compressive strength of 15000 psi and a minimum tensile strength of 7000 psi. The material shall be applied to the tendon in a manner that will prevent any air or moisture penetration, hydrogen embrittlement or stress corrosion on the tendon's steel. The plastic shall be non-reactive with the grout and its ingredients.
4. Centralizers: Centralizers shall be fabricated from a material, other than wood, that is not deleterious to the reinforcing steel or congested PVC sheathing. The Centralizers shall be of sufficient strength to support the weight of the tendon and shall have a minimum of 0.5" of grout cover. Centralizers shall be used for the bonded length only.
5. Grout: Grout made of fine congested PVC sheathing shall be a neat cement concrete with a water-cement ratio of 0.45. The grout shall be placed in a sack of cement. Cement shall conform to ASTM C150, "Portland Cement". Accelerators shall not be used.
6. Bearing Plate Assembly: A steel trumpet, having an inside diameter equal to or larger than the hole in the bearing plate, shall be spot welded to the bearing plate. The minimum thickness of the steel trumpet shall be 0.25". After the grout is placed, the bearing plate shall be cut off at the tendon. The final assembly operations, all voids within the steel trumpet and bearing plate shall be filled with Dwyvidag grease.
7. Grease Cap: After stressing operations, the tail of the prestressing strands shall be cut off at a minimum beyond the wedge plate. The wedge plate shall be completely encased within a hot dipped galvanized steel cap. All voids within the steel cap shall be filled with Dwyvidag PTI grease.

Product Handling

1. Handling, shipping and storage shall be such that the material is properly identifiable and protected against mechanical damage, corrosion, chemical attack and fire.
2. Storage: Materials stored at site shall be placed above ground on well-supported platform and covered with plastic or other approved material.

L. Anchor Installation

1. The diameter of the hole shall be large enough to provide a minimum of 1" grout cover within the bonded length of the anchor assembly - minimum 8".
2. Centralizers shall be used for the bonded length of the tendon.
3. The hole shall be drilled to a depth 12" beyond the end of the anchor tendon.
4. Anchor holes shall be drilled by either the rotary or percussion drilling method. The holes shall be drilled to a depth sufficient to provide the necessary bond length beyond a minimum unbonded length shown on the plans. After the anchor holes have been drilled, the anchor grout shall be applied from the bottom of the hole. The quantity of the grout and the grout pressure shall be recorded. Prior to installing such assembly into the anchor hole, the anchor assembly shall be tested to ensure proper operation. Excessive amounts of water shall not be used in any of the anchor installation procedures.

M. Grouting

1. For drilled holes 6" or greater in diameter, the aggregate may be used for grout then 6/8 inch to 1/2 inch in size. The concrete content of the grout is not less than 648 lbs/cubic yard of grout.
2. Anchors in holes shall be grouted with grout length and grout level will also remain undisturbed until the grout has reached strength sufficient to provide anchorage during testing operations. Grouting in the remaining void length and the steel fiber shall be completed after successful testing and lock-off of the tendon.

N. Testing

1. Tendon stretching and testing of field anchor grout for test anchors shall be performed as required by Engineer to verify strength. Test procedures shall be in accordance with ASTM C1018.
2. All anchors shall be tested by either a performance test or a proof test. Load testing shall be performed against permanent bearing plates which bear against concrete wall or post. Minimum concrete compressive strength at time of testing to be 4000 psi.
3. The magnitude of applied test loads shall be determined with a calibrated pressure gauge or a load cell. Movements of the anchor, relative to an adjacent tendon, shall be measured and recorded. The Contractor shall perform the measuring and recording and shall furnish the engineer copies of the recorded movements.
4. A minimum of two loadbacks shall be performance tested. The Engineer shall determine the location of the endpoints to be performance tested.

VI. SPECIAL INSPECTION

- Special Inspection shall be paid for by the Owner/Client and provided by the Project Engineer. The Engineer may relinquish the right to perform the special inspection provided the Owner/Client provides a written statement of approval for special inspection per 1937 U.S.C. Section 1707(a) as required for the following construction operations.
- A. Installation and grouting of tendon anchors.
 - B. Placement of reinforcing in bearing plates.
 - C. Concrete or shotcrete placement operations.
 - D. Stressing of tendon anchors.
 - E. Testing of tendon anchors.

VII. SPECIAL INSPECTION

- A. The Contractor shall submit a schedule of construction allowing planned sequence and timing of all work.
- B. The Contractor shall inform the Engineer 24 hours in advance of reaching the following stages of construction:
 1. Grading work for bearing pad construction "walkforms" & finish facing of side scarf under bearing pad completed.
 2. Drilling for tendon.
 3. Installation of tendon & grouting of the tendon.
 4. Placement of bearing pad reinforcement.
 5. Concrete or Shotcrete placement operations.
 6. Tendon stressing operations.
 7. Finish grouting.

Stamp: PROFESSIONAL ENGINEER IN CIVIL ENGINEERING, State of Florida, License No. 12345, dated 12/15/05.

Stamp: FRED H. SCHOTT & ASSOCIATES, INC., PROFESSIONAL ENGINEERS, 12345 Main St., Suite 100, Jacksonville, FL 32202, Phone: 904-123-4567, Fax: 904-123-4568.

DATE	DESCRIPTION

Stamp: Slide Stabilization, 12345 Main St., Suite 100, Jacksonville, FL 32202, Phone: 904-123-4567, Fax: 904-123-4568.

Stamp: GENERAL STRUCTURAL NOTES

Stamp: SHEET S6 OF 87, DATE: 05/18/07

ZONING APPROVED
OCT 05 2007
PLANNER: Sarah [Signature]
S.B. PLANNING & DEVELOPMENT



County of Santa Barbara Planning and Development

John Baker, Director

Dianne Black, Director Development Services

John McInnes, Director Long Range Planning

August 7, 2008

David Swanson
5597 W. Camino Cielo
Santa Barbara, CA 93105

**RE: Revised Cost Estimate
Swanson Tieback Grade Beam System
5597 W. Camino Cielo
Case No. 06LUP-00000-00611; APN 153-100-018**

Dear Mr. Swanson:

Based on additional information, we have revised our original estimate of the cost of processing the permit application for your project. The original estimate included a total of 18 planner hours to process the permit application, resulting in a total estimate of \$3,013, including noticing fees and other costs.

Due to the need for additional research and plan revisions resulting in additional review time, we have revised our estimate to complete P&D's action on the application as submitted. As the enclosed Project Cost Estimate shows in greater detail, we estimate that processing of your permit application will require a total of 28 planner hours, resulting in a total estimated cost of \$5,000. This revised estimate includes all time spent to date as well as noticing fees and other costs.

You will continue to receive a monthly invoice for all unpaid charges on your account. Payment of invoices is required within 25 days. Non-payment of an invoice will result in staff stopping work and possible denial of the project. Any remaining security deposit balance will be refunded at completion of case processing.

Please feel free to contact me, if you have any questions or concerns.

Sincerely,

Sarah Clark, Development Review South Division
Planning and Development Department
County of Santa Barbara

Development Review
Building & Safety
Energy, Administration
123 E. Anapamu Street
Santa Barbara, CA 93101
Phone: (805) 568-2000
FAX: (805) 568-2030

Long Range Planning
30 E. Figueroa St, 2nd Floor
Santa Barbara, CA 93101
Phone: (805) 568-3380
FAX: (805) 568-2076

Building & Safety
185 West Hwy 246, Ste 101
Buellton, CA 93427
Phone: (805) 686-5020
FAX: (805) 686-5028

Development Review
Building & Safety
Agricultural Planning
624 W. Foster Road
Santa Maria, CA 93455
Phone: (805) 934-6250
FAX: (805) 934-6258

Revised Cost Estimate
Swanson Tieback Grade Beam System, Case No. 06LUP-00000-00611
August 7, 2007
Page 2

123 E. Anapamu St., Santa Barbara, CA 93101
Phone: (805) 568-2059
Fax: (805) 568-2020
Email: saclark@co.santa-barbara.ca.us

Encl.: Revised Cost Estimate

cc: ✓ Case file
Peter Imhof, Supervising Planner

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**PLANNING AND DEVELOPMENT
MINISTERIAL PROJECT COST ESTIMATE WORKSHEET**

Case Name: Swanson Tieback Gradebeam Sys.	Case No.(s): 06LUP-00000-00611
Prepared by & Date: Sarah Clark, 8/7/07	Supervisor Approval & Date: <i>Clark 8/7/07</i>

PLANNER LABOR CHARGES

Project Review task	Estimated P&D Staff Hours		Total Hours	Rate \$/hr	Cost
	Dev Rev	P&D Specialist			
1. Application Intake	1	0	1	129	\$ 129.00
2. Submittal review	3	0	3	129	\$ 387.00
3. Background research	3	0	3	129	\$ 387.00
4. Resource Analysis	1	3	4	129	\$ 516.00
5. Policy and zoning consistency	5	0	5	129	\$ 645.00
6. Meetings	1	0	1	129	\$ 129.00
7. BAR review	2	0	2	129	\$ 258.00
8. Prepare LUP/CDP posting notice	1	0	1	129	\$ 129.00
9. Permit action	2	0	2	129	\$ 258.00
10. If CDP, prepare Notice of Final Action	0	0	0	129	\$ 0.00
11. Applicant-agent meeting	1	0	1	129	\$ 129.00
12. Issue permit after expiration of comment or appeal period	2	0	2	129	\$ 258.00
13. Case close-out	3	0	3	129	\$ 387.00
14. Other :	0	0	0	129	\$ 0.00
Subtotal Planner Labor	25	3	28		\$3,612.00

Note to Applicant: The breakdown above is for estimation purposes. P&D will not adjust the calculation estimates based on overestimation of time for a single task. Your bills will reflect actual work completed. Your planner will advise you if unforeseen circumstances arise which may require additional costs.

NON-SALARY COSTS

Activity	Fee	Number	Cost
15. Board of Architectural Review	\$691	1	\$ 691.00
16. Board of Architectural Review – Summerland, Toro Canyon	\$916	0	\$ 0.00
17. Board of Architectural Review – Montecito	\$965	0	\$ 0.00
Other Non-Salary Charges (These costs may not be known at the time the estimate is initially prepared)			
18. Other County Department Charges ¹)	Actual Cost		\$0.00
19. Special Studies/Consultant Reports	Actual Cost		\$0.00
20. Administrative noticing costs if applicable	Actual Cost		\$0.00
21. Other:	Actual Cost		\$0.00
Subtotal Non-Salary Cost			\$ 691.00

Subtotal Planner Labor Cost	Subtotal Non-Salary Cost	Total Estimated Cost (Round to next \$1,000)
\$3,612.00	\$691.00	\$4,303.00 (\$5,000.00)



County of Santa Barbara Planning and Development

John Baker, Director

Dianne Meester Black, Assistant Director

April 23, 2007

David E. Swanson
5597 W. Camino Cielo
Santa Barbara, CA 93105

RE: Cost Estimate
Swanson Tieback Gradebeam System
Case Number: 06LUP-00000-00611
Assessor's Parcel Number: 153-100-018

Dear David:

The Planning and Development Department recently updated its procedures regarding cost estimates and file management. As a result of these updates, I am sending you a cost estimate for the completion of the Swanson Tieback Gradebeam System Project, Case Number 06LUP-00000-00611.

As the enclosed Project Cost Estimate shows in greater detail, we estimate that processing of your permit application will require a total of 18 planner hours, resulting in a total estimated cost of \$3,013. This estimate includes all time spent to date as well as noticing fees and other costs.

You will continue to receive a monthly invoice for all unpaid charges on your account. Payment of invoices is required within 25 days. Non-payment of an invoice will result in staff stopping work and possible denial of the project. Any remaining security deposit balance will be refunded at completion of case processing.

Your project is on the consent agenda for the South County Board of Architectural Review on May 11, 2007. Please contact me if you have any questions or need additional information. My direct telephone number is (805) 568-2002.

Sincerely,

Dan Gullett, Development Review

Encl.: Cost Estimate,
cc: ✓ Case file
June Pujo, Supervising Planner

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**PLANNING AND DEVELOPMENT
MINISTERIAL PROJECT COST ESTIMATE WORKSHEET**

Case Name: Swanson Tieback Gradebeam Sys.	Case No.(s): 06LUP-00000-00611
Prepared by & Date: D. Gullett April 23, 2007	Supervisor Approval & Date:

PLANNER LABOR CHARGES

Project Review task	Estimated P&D Staff Hours		Total Hours	Rate \$/hr	Cost
	Dev Rev	P&D Specialist			
1. Application Intake	1	0	1	129	\$ 129.00
2. Submittal review	2	0	2	129	\$ 258.00
3. Background research	1	0	1	129	\$ 129.00
4. Resource Analysis	1	3	4	129	\$ 516.00
5. Policy and zoning consistency	1	0	1	129	\$ 129.00
6. Meetings	1	0	1	129	\$ 129.00
7. BAR review	1	0	1	129	\$ 129.00
8. Prepare LUP/CDP posting notice	1	0	1	129	\$ 129.00
9. Permit action	2	0	2	129	\$ 258.00
10. If CDP, prepare Notice of Final Action	0	0	0	129	\$ 0.00
11. Applicant-agent meeting	1	0	1	129	\$ 129.00
12. Issue permit after expiration of comment or appeal period	1	0	1	129	\$ 129.00
13. Case close-out	2	0	2	129	\$ 258.00
14. Other :	0	0	0	129	\$ 0.00
Subtotal Planner Labor	15	3	18		\$2,322.00

Note to Applicant: The breakdown above is for estimation purposes. P&D will not adjust the calculation estimates based on overestimation of time for a single task. Your bills will reflect actual work completed. Your planner will advise you if unforeseen circumstances arise which may require additional costs.

NON-SALARY COSTS

Activity	Fee	Number	Cost
15. Board of Architectural Review	\$691	1	\$ 691.00
16. Board of Architectural Review – Summerland, Toro Canyon	\$916	0	\$ 0.00
17. Board of Architectural Review – Montecito	\$965	0	\$ 0.00
Other Non-Salary Charges (These costs may not be known at the time the estimate is initially prepared)			
18. Other County Department Charges ¹)	Actual Cost		\$0.00
19. Special Studies/Consultant Reports	Actual Cost		\$0.00
20. Administrative noticing costs if applicable	Actual Cost		\$0.00
21. Other:	Actual Cost		\$0.00
Subtotal Non-Salary Cost			\$ 691.00

Subtotal Planner Labor Cost	Subtotal Non-Salary Cost	Total Estimated Cost (Round to next \$1,000)
\$2,322.00	\$691.00	\$3,013.00 (\$4,000)

¹ cc: Linda Bishop, Accounting.
G:\group\P&D\Protos\Dev Rev\Forms\Ministerial\Project Cost Estimate.doc

Elliot Schulman, MD, MPH Director/ Health Officer

Michael D. Harris Deputy Director

Richard Merrifield, REHS Director of Environmental Health

225 Camino Del Remedio ♦ Santa Barbara, CA 93110

805/681-4900 ♦ FAX 805/681-4901

2125 S. Centerpointe Pkwy. #333 ♦ Santa Maria, CA 93455

805/346-8460 ♦ FAX 805/346-8485

Memorandum

To: Attention: Dan Gullett
County of Santa Barbara Building Development Div
Building Permit Number: unknown

From: Lloyd Simms 681-4926 Lloyd.simms@sbcphd.org
Environmental Health Services

Date: May 19, 2006

Subject: 5597 W. Camino Cielo Rd, Santa Barbara

Property Owner: David Swanson

Property Location: 5597 W. Camino Cielo Rd, Santa Barbara

Mailing Address: 5597 W. Camino Cielo Rd
Santa Barbara CA 93105

APN: 153-100-018

Plans relating to the above subject location have been reviewed by the Environmental Health Services Division and approval has been granted for repair of the onsite sewage treatment disposal system for an existing **three** bedroom residential unit. This division has no objections to the issuance of building permits for the parcel. The applicant has been directed to obtain the appropriate permits from your department. Should you have any questions, please contact me at 681-4926.



PLANNING & DEVELOPMENT, BUILDING CLEARANCE APPLICATION

PROJECT NUMBER:
APN:
ADDRESS:

06LUP-00000-00611
SWANSON TIEBACK GRADE BEAM SYS
5597 W CAMINO CIELO
SANTA BARBARA 153-100-018

TAL
G

TYPE OF WORK: (Check all that apply)
 New Structure Addition Ext. Alter. Int. Remodel Change of Use Demo Move Exempt. Sign
 Grading Retaining Wall Stockpiling Electrical Plumbing Mechanical Other: _____

SITE ADDRESS: 5597 W CAMINO CIELO Town: SANTA BARBARA
Assessor Parcel No.(s): 153-100-18-00 Zone District _____
Parcel Size: 3.18 acres (Gross) _____ (Net) Tract No.: _____ Lot No.: _____
Recorded Map Date: _____
Estimated work value \$ 600,000. Did you have a Planner Consultation? No Yes

1. Financially Responsible Person: DAVID E. SWANSON Phone: 708-2875
(for this project) Phone: 692-8444

Mailing Address: 5597 W. CAMINO CIELO, SANTA BARBARA, CA 93105
street city state zip code

2. Owner: DAVID E. SWANSON Phone: 692-8444 FAX: _____
Mailing Address: 5597 W. CAMINO CIELO, SB, CA 93105 E-mail: des@cisco.com
Street City State Zip

3. Agent: _____ Phone: _____ FAX: _____
Mailing Address: _____ E-mail: _____
Street City State Zip

4. Geologist Arch./Designer: STEVE CAMPBELL Phone: 965-5003 FAX: 963-5371
Mailing Address: 327-A E. HALEY ST. SANTA BARBARA, CA 93101
Street City State Zip
State License No.: 1729 E-mail: steve@campbellgeo.com

5. Engineer/Surveyor: FRED H. SCHOTT Phone: 544-1216 FAX: 544-2004
Mailing Address: 200 SUBURBAN RD STE A, SAN LUIS OBISPO, CA 93401
Street City State Zip
State License/Registration No.: ~~759390A~~ C13224 E-mail: fredschott@sbcglobal.net

6. Contractor: ANDY SHEAFFER, AIS Construction Phone: 643-6996 FAX: 643-6955
Mailing Address: 4285 CROOKED PALM RD, VENTURA, CA 93001
Street City State Zip
State License No.: 759390A E-mail: andy@aisconstruction.com

7. Soils Lab: _____ Phone: _____ FAX: _____
Mailing Address: _____
street city state zip code

Please circle primary contact

updated by bjp032106

PROJECT INFORMATION

Applicant to complete Project Description and Sections A and B

PROJECT DESCRIPTION SUMMARY (a description of all work that will commence under this application): Construct a 100 ft long tieback and grade beam system. 22 tiebacks will be drilled into the hillside approximately 130 ft deep (horizontal). Two parallel cement grade beams will be constructed, each about 8 ft high + 100ft long anchored by the tiebacks. A cement retaining wall will be constructed atop the upper grade beam. The fractured soil below the slide escarpment will be minimally graded to fill in fractures + provide a positive slope downslope of the grade beam.

Estimated work value \$ 600,000

Did you have a Planner Consultation? [X] No [] Yes

SECTION A - PARCEL INFORMATION: (Check each that applies. Fill in all blanks or indicate "N/A")

Existing Use: [] Agric. [X] SFD [] Duplex [] Multi-Family [] Retail [] Commercial [] Office [] Indus [] Vacant

Proposed Use: [] Agric [X] SFD [] Duplex [] Multi-Family [] Retail [] Commercial [] Office [] Indus

Existing: No. of Buildings 3 Gross Floor Area 2370 Age of Oldest Struct. No. Res. Units 1

Proposed: No. of Buildings 3 Gross Floor Area 2370 No. Res. Units no change

Impervious Surfaces (sq. ft.): Existing N/A Proposed N/A no change

Parking Spaces: No. Existing N/A Proposed No. Total N/A No. Handicapped N/A

Utilities: Water: [] public [X] private Sewer Disposal: [] public [X] private Gas: [] Natural Gas [X] LPG

Grading (cu. yd.): Cut 200 Fill 200 Import 0 Export 0 Total 400

Total Area Disturbed (sq. ft./acres): about 3/4 acre

Max % Slope: Parcel 100% Work site 100% Max Height: Cut/fill combined slope 4' Retaining wall about 25'

Tree removal: [] No [X] Yes No. 3 Vegetation removal: [] No [X] Yes Sq. Ft./acres: 3/4 acre

Parcel Within Agricultural Preserve Contract: [X] No [] Yes Preserve Number:

Parcel Located Within Special Problems Area: [] Yes [X] No Description:

Parcel Validity¹:

The lot is created by a recorded Parcel or Final Map approved by the County. Map # _____ or

The lot is described on a recorded Certificate of Compliance or Conditional Certificate of Compliance. CC# _____ or

The lot resulted from a Lot Line Adjustment approved by the County. LLA # _____ or

The lot was created by a recorded Reversion to Acreage approved by the County. Surveyor's reference # _____ or

The lot was created by a recorded Voluntary Merger approved by the County. Surveyor's reference # _____ or

The lot is shown on a Lot Split Plat approved by the County pursuant to Ordinance No. 791 as amended.

updated by bjp032106

¹ Evidence that the project site is a legal parcel must be provided with the application on an undeveloped lot. If it is determined your lot is a fraction lot that is substandard in size, you may not be eligible for a development permit.

SECTION B – PHYSICAL CHARACTERISTICS:

Project Information:

- Located within Rural Area or Developed Rural Neighborhood
- Proposed for Development of a Residence > 5,000 sq. ft.
- Includes a Proposed Driveway of >= 150ft. in length
- Storm water quality BMPs² included in project
- Archaeological or Historical Resources Located on Parcel

Y	N	Uncertain	Description	Intake Team
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Haney Tract	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>

Geological Considerations:

- Hillside/Ridgeline and/or Slope >= 20% on the Lot
- More than 1500 cu. yd. of Grading Proposed
- More than 150 cu. yd. of Grading Unrelated to Structural Development (Such as Well Drilling, Performance Tests, Driveways, Landscaping etc.)

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>

Environmental/Biological Considerations:

- Environmentally Sensitive Habitat Overlay or Buffer
- Creeks, Ponds, Drainage Courses, or Water Bodies on Site or Within 100' of Parcel
- Oak or Riparian Habitat on Parcel or within 100' Feet
- Removal of any Oak, Native or Specimen Tree
- Removal of >1/2 Acre of Native Vegetation?
- Project Located Within 200' of an Existing or Proposed Public Trail
- Known Endangered Species on Parcel

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	previously cleared; now grass + weeds	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>

Is the area to be graded:

- within one mile of Highway 154?
- visible from Highway 154?
- within one mile of Highway 1 (between Highway 101 and Lompoc)?
- visible from Highway 1 (between Highway 101 and Lompoc)?
- visible from any public park?

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>

If so, what is the name of the park and distance to the area proposed to be graded:

NOTE: IF ANY OF THE BOXES IN THIS SECTION ARE MARKED 'YES', YOUR CASE MAY BE SUBJECT TO CONSTRAINED LOT REVIEW. A DEPOSIT FEE IS REQUIRED FOR THESE PROJECTS.

updated by bjp032106

² Best Management Practices – if over one acres of disturbance project must include storm water quality BMPs.

OWNER-BUILDER INFORMATION

Dear Property Owner: An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified. For your protection you should be aware that as "owner-builder" you are the responsible party of record on such a permit. Building permits are not required to be signed by property owners unless they're personally performing their own work. If your work is being performed by someone other than yourself, you may protect yourself from possible liability if that person applies for the proper permitting in his or her name. Contractors are required by law to be licensed and bonded by the state of California and to have a business license from the city or county. They are also required by law to put their license number on all permits for which they apply.

If you plan to do your own work, with the exception of various trades that you plan to subcontract, you should be aware of the following information for your benefit and protection: If you employ or otherwise engage any persons other than your immediate family, and the work (including materials and other costs) is \$200 or more for the entire project, and such persons are not licensed as contractors or subcontractors, then you may be an employer. If you are an employer, you must register with the state and federal government as an employer and you are subject to several obligations including state and federal income tax withholding, federal social security taxes, workers' compensation insurance, disability insurance costs, and unemployment compensation contributions. There may be financial risks for you if you do not carry out these obligations, and these risks are especially serious with respect to workers' compensation insurance. For more specific information about your obligations under federal law, contact the Internal Revenue Service (and, if you wish, the U.S. Small Business Administration). For more specific information about your obligations under state law, contact the Department of Benefit Payments and the Division of Industrial Accidents. If the structure is intended for sale, property owners who aren't licensed contractors are allowed to perform their work personally or through their own employees, without a licensed contractor or subcontractor, only under limited conditions. A frequent practice of unlicensed persons professing to be contractors is to secure an "owner" building permit, erroneously implying that the property owner is providing his or her own labor and material personally. Building permits are not required to be signed by property owners unless they are performing their own work personally. Information about licensed contractors may be obtained by contacting the Contractors' State License Board in your community or at 1020 N Street, Sacramento, California 95814. Please complete and return the enclosed owner-builder verification form so that we can confirm that you are aware of these matters. The building permit will not be issued until the verification is returned.

Santa Barbara County, Planning & Development Department, Building & Safety Division.

OWNER-BUILDER VERIFICATION

Attention Property Owner: An "owner-builder" building permit has been applied for in your name and bearing your signature. Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

- 1. I personally plan to provide the major labor and materials for construction of the proposed property improvement (yes or no)
- 2. I (have) signed an application for a building permit for the proposed work.

3. I have contracted with the following person (firm) to provide the proposed construction:

Name Andy Sheaffer / AIS Construction
 Address 4285 Crooked Palm Rd. City Ventura
 Phone 805.643.6996 Contractors License No. 759390 A

4. I plan to provide portions of the work, but I have hired the following person to coordinate, supervise, and provide the major work:

Name _____
 Address _____ City _____
 Phone _____ Contractors License No. _____

5. I will provide some of the work but I have contracted (hired) the following persons to provide the work indicated:

Name	Address	Phone	Type of Work

Property Owner Signature D. S. Swanson Date 6/15/05

CERTIFICATE OF ACCURACY AND COMPLETENESS

Must be signed by the owner or authorized agent before a permit can be accepted for processing by the County of Santa Barbara

Signature authorizes County staff to enter the property described above for the purposes of inspection.

I hereby declare under penalty of perjury that the information contained in this application and all attached materials are correct, true and complete. I acknowledge and agree that the County of Santa Barbara is relying on the accuracy of this information and my representations in order to process this application and that any permits issued by the County may be rescinded if it is determined that the information and materials submitted are not true and correct. I further acknowledge that I may be liable for any costs associated with rescission of such permits.

DAVID SWANSON

Print Name

Circle One: Owner Agent

D. Swanson

Signature

6/15/06

Date

And

I hereby authorize _____ to represent me before Santa Barbara County in all matters related to this application.

Print Name (Owner)

Signature

Date

Or

Print Name (Licensed Contractor)

Signature

License Number

Date

I understand and agree that submission of plans for building/grading plan check for the above mentioned property is not a guarantee of approval and if the project is denied by the Planning & Development Department, my advance plan check fee of \$ _____ is non-refundable.

Applicant's Signature

Date

Photo #1



SUWALSON

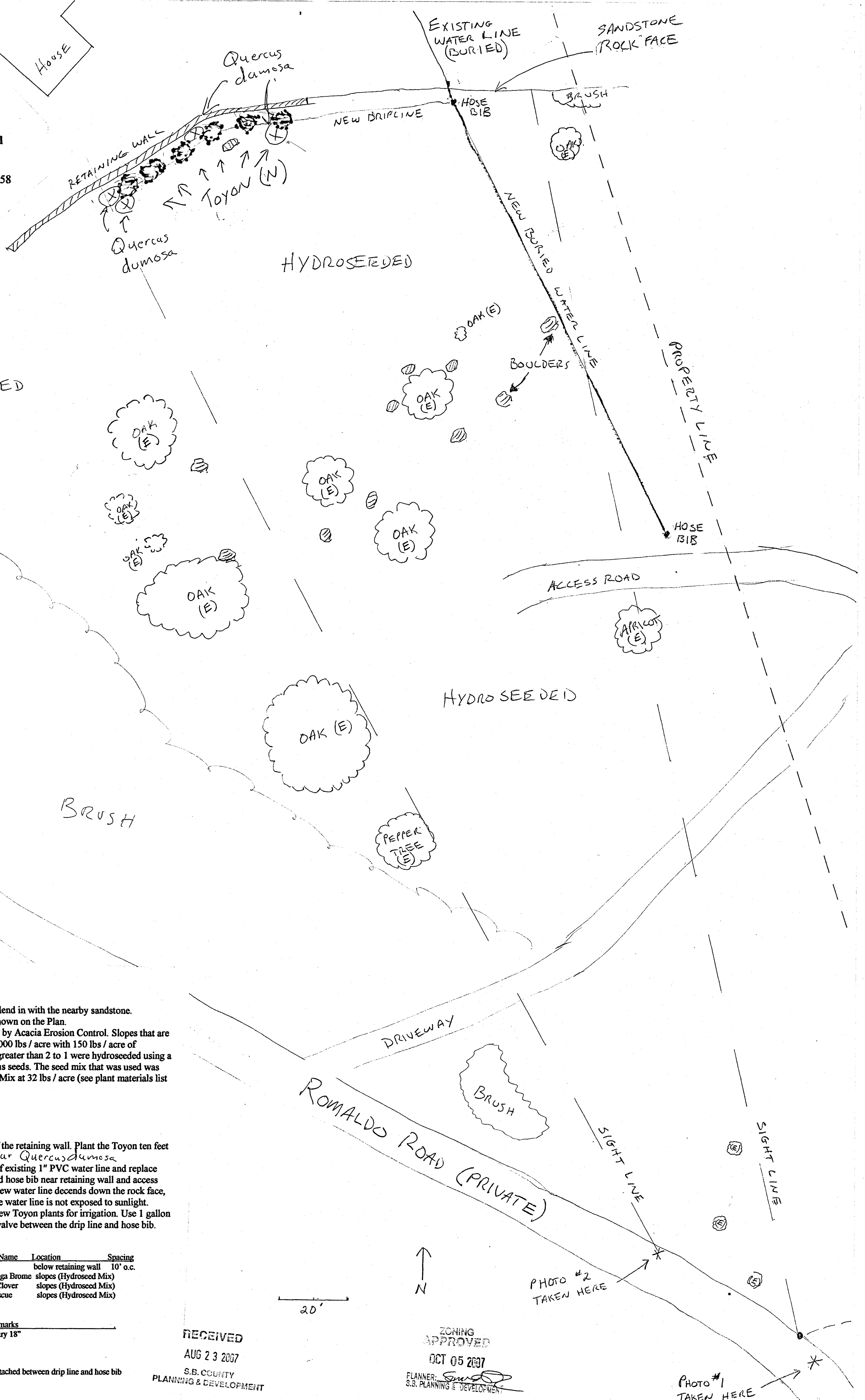
Photo #2



SU. AXSON

Approved
Julia Crout
BOARD OF ARCHITECTURAL
REVIEW
OCT 05 2007
SB COUNTY
PLANNING AND DEVELOPMENT
Swsanson Retaining Wall
5597 W Camino Cielo
Santa Barbara, CA 93105
Case # 06BAR-00000-00158
Parcel 153-100-018

OFFICE OF ARCHITECTURAL
REVIEW
OCT 05 2007
SB COUNTY
PLANNING AND DEVELOPMENT



Completed Work:

- 1) The cement retaining wall was stained to blend in with the nearby sandstone.
- 2) Boulders were placed on graded areas as shown on the Plan.
- 3) Areas that were graded have been reseeded by Acacia Erosion Control. Slopes that are less than 2 to 1 were hydroseeded using 2000 lbs / acre with 150 lbs / acre of stabilization m-binder plus seeds. Slopes greater than 2 to 1 were hydroseeded using a Bonded Fiber Matrix at 3500 lbs / acre plus seeds. The seed mix that was used was S&S Seeds Basic Native Erosion Control Mix at 32 lbs / acre (see plant materials list for seed description).

New Work:

- 1) Add six ^{five} one-gallon Toyon plants at base of the retaining wall. Plant the Toyon ten feet apart as indicated on the Plan. ^{plus four Quercus dumosa}
- 2) Remove temporary above ground portion of existing 1" PVC water line and replace with new 1" SCH 40 PVC buried line. Add hose bib near retaining wall and access road as indicated on the Plan. Where the new water line descends down the rock face, run water line through a conduit so that the water line is not exposed to sunlight.
- 3) Use 1/2" drip line from upper hose bib to new Toyon plants for irrigation. Use 1 gallon per hour drip emitters. Install a backflow valve between the drip line and hose bib.

Plant Materials List

Qty	Size	Botanical Name	Common Name	Location	Spacing
6	1 gal	Heteromeles arbutifolia	Toyon	below retaining wall	10' o.c.
20	lbs/acre	Bromus carinatus "Cucamonga"	Cucamonga Bromo	slopes (Hydroseed Mix)	
4	lbs/acre	Trifolium tridentatum	Tomcat Clover	slopes (Hydroseed Mix)	
8	lbs/acre	Vulpia microstachys	Small Fescue	slopes (Hydroseed Mix)	

Irrigation Materials List

Symbol	Manufacturer	Item	Remarks
Any		1" SCH 40 PVC pipe	bury 18"
Any		1/2" drip line	
Any		1 gal drip emitters	
Any		metal hose bib	
Any		backflow valve	Attached between drip line and hose bib

RECEIVED
AUG 23 2007
S.B. COUNTY
PLANNING & DEVELOPMENT

ZONING APPROVED
OCT 05 2007
PLANNER: *[Signature]*
S.B. COUNTY PLANNING & DEVELOPMENT

PHOTO #2
TAKEN HERE

PHOTO #1
TAKEN HERE